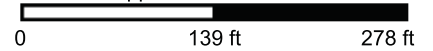


Disclaimer: The information contained on this page is NOT to be construed or used as a survey or legal description. Map information is believed to be accurate but accuracy is not guaranteed.

Approx. Scale 1:1668



Layer: Parcels

PIN: 9507-64-3167-000
Owner: Pippys Enterprises LLC
Address2: 192 Fox Hole Run
City: Pisgah Forest
State: NC
Zip: 28768
Acres: 4.05
Land Area: 1

Land Units: LT
Township: 01
Fire District: FR04
Land Value: 90000
Assessed Value: 213720
Bldg Value: 123720
Legal Address: N C HWY 64
:

Layer: Voting Tabulation Districts (VTD)
Name: Boyd

Layer: Precincts
Description: BD_BOYD

Pippys Enterprises LLC

2260 HENDERSONVILLE HWY
70463110

COUNTY TAX (100), L R FIRE TAX (100)

Reval Year: 2021 Tax Year: 2024
Appraised By 14 on 01/01/2021 47200 Little River

N C HWY 64

B & B PLUMBING
CARD NO. 1 of 1
1.0000 LT
TW-01 CI- FR-

PLAT: / UNIQ ID 48872
ID NO: T462 00143 01 MS.00

Parcel ID: 9507-64-3167-000

SPLIT FROM ID

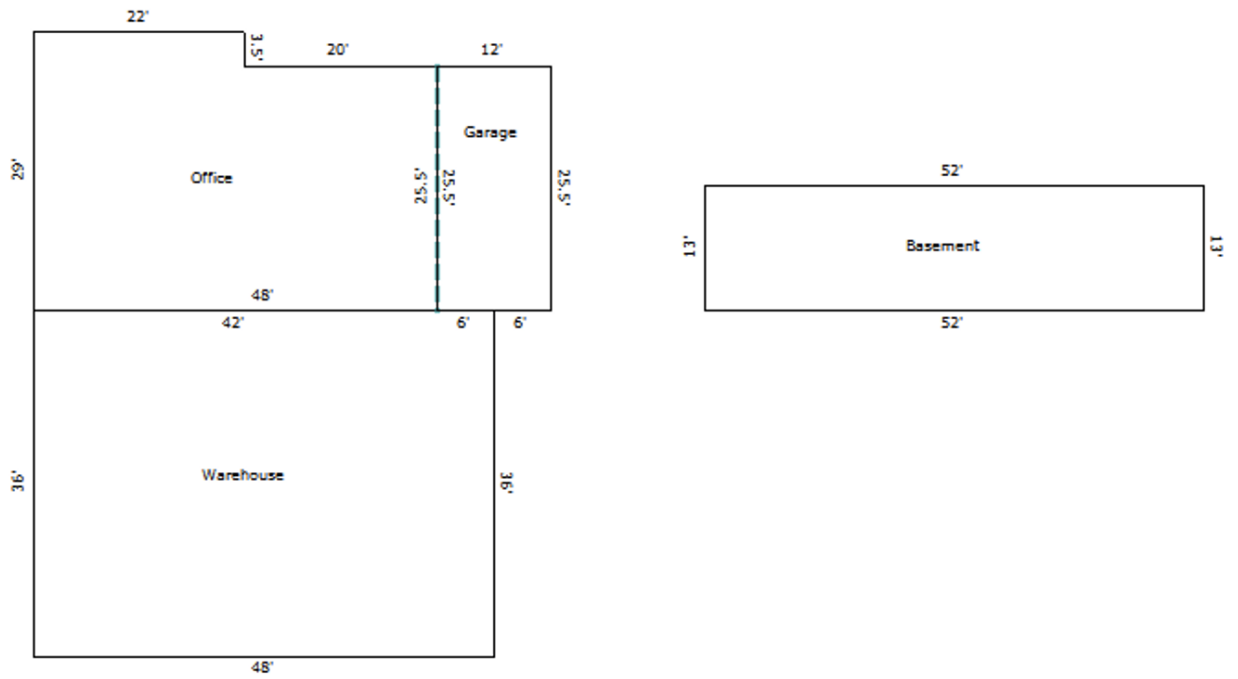
4.3800 AC SRC= AT- LAST ACTION 20221011

CONSTRUCTION DETAIL		MARKET VALUE								DEPRECIATION			CORRELATION OF VALUE																																																																																																																																																																																																																																																																								
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9507-64-3167-000 (2331707) Group:0

7/10/2024 1:08:33 PM.

Building Layout per Appraiser



TOTAL Sketch by e la mode

Area Calculations Summary

Living Area	
Warehouse	1728 Sq ft
Office	1148 Sq ft
Garage/Storage	306 Sq ft
Basement	676 Sq ft
Total Living Area (Rounded):	3858 Sq ft

Zoning

The subject is located in an area with no zoning.



Tax Administration
 20 E Morgan St, Ste 1
 Brevard, NC 28712

PROPERTY TAX BILL

ADDRESS SERVICE REQUESTED

Tax Collection Questions: 828-884-3197

IMPORTANT INFORMATION

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Pippys Enterprises LLC
 192 Fox Hole Run
 Pisgah Forest, NC 28768

YEAR	BILL #	ACCOUNT #	PARCEL ID	DUE DATE			
2023	21465	70463110	9507643167000	1/5/2024			
REAL PROPERTY VALUE		PERSONAL PROPERTY VALUE	EXCLUSION	DEFERRED	TAXABLE VALUE		
213,720					213,720		
ADJUSTED REAL PROP VALUE		ADJUSTED PERS PROP VALUE	LEGAL DESCRIPTION				
			N C HWY 64				
Description	Rate	%	Amount	Released	Other	Collected	Balance
C - COUNTY TAX	0.6033	100	1,289.37			1289.37	0.00
FR04 - L R FIRE TAX	0.0550	100	117.55			117.55	0.00
Balance Due:						0.00	

The amount due is in addition to any other outstanding tax bill you may have.

 PLEASE DETACH & RETURN THIS PORTION WITH YOUR PAYMENT

County Of Transylvania 2023 Property Tax Bill

Tax Year	2023	Account #	70463110	Total Due	0.00
Bill #	21465	Parcel #	9507643167000	As Of	06/24/2024

The amount due is in addition to any other outstanding tax bill you may have.

Pippys Enterprises LLC
 192 Fox Hole Run
 Pisgah Forest, NC 28768

MAKE CHECKS PAYABLE AND REMIT TO:

Tax Administration
 20 E Morgan St, Ste 1
 Brevard, NC 28712